



Hawkesbury City Council

ordinary meeting business paper

date of meeting: 12 December 2006

location: council chambers

time: 5:00 p.m.

ORDINARY MEETING

Table of Contents

Meeting Date: 12 December 2006

TABLE OF CONTENTS

ITEM	SUBJECT	PAGE
	SECTION 4 - Reports for Determination	5
	CITY PLANNING	5
Item: 289	CP - Wholesale Nursery - Office and Storage Shed - 261 Cattai Road, Pitt Town NSW 2756 - (DA0465/06, 95498, 96329, 31935, 31936)	5
	EXTERNAL SERVICES	35
Item: 298	ES - Draft Customer Service and Communication Strategy - (79342, 95494)	35

ORDINARY MEETING

Table of Contents

Meeting Date: 12 December 2006

ordinary

section 4

reports
for determination

ORDINARY MEETING

Meeting Date: 12 December 2006

ORDINARY MEETING

Meeting Date: 12 December 2006

SECTION 4 - Reports for Determination

CITY PLANNING

Item: 289 CP - Wholesale Nursery - Office and Storage Shed - 261 Cattai Road, Pitt Town
NSW 2756 - (DA0465/06, 95498, 96329, 31935, 31936)

Development Information

Applicant: Mr T A Layt
Owner: Mr T A Layt and Mrs M Layt
Stat. Provisions: HLEP 1989
Area: 3.7hs SREP20
Zone: Rural Living
Rural Living Under Hawkesbury Local Environmental Plan 1989
Advertising: 16 August 2006 to 30 August 2006
Date Received: 16 June 2006

Key Issues:

- ◆ Use of Chemicals
- ◆ Inappropriate Land Use
- ◆ Impact on Environment

Recommendation: Approval

REPORT:

Description of Proposal

The application is seeking consent for a wholesale plant nursery, associated office and storage shed on Lot 1 DP 7479659, 261 Cattai Road, Pitt Town. The wholesale plant nursery involves the following:

Combined Testing and Breeding Area

This will be a combined area for breeding and testing of new plant varieties and occupies approximately 1400m² of land. This area is located along the western boundary of the site near the existing dam. The area will be covered with black weed mat with 50-60mm of blue metal to improve drainage and keep the area weed free. Any runoff from this area will be diverted to a filtration pond via a 1m wide dish drain. This filtration pond will trap any silt and chemical residue before the runoff goes into the existing dam.

It is proposed to use Nelson sprinkler heads on upright risers to irrigate the testing and breeding area.

Round up Bioactive is the only chemical that has been proposed to be used around the perimeter of the breeding area. Round up Bioactive is to be applied only by small handheld spray packs and no large boom sprays or mechanical spray equipment will be used. The application also indicates that no spraying will occur on windy days, thus eliminating any chance of a drift.

Advance Tree Growing Area

The advanced tree growing area is situated towards the front of the site and occupies approximately 9000m² of land area. The advanced trees will be grown in 250mm pots and larger. These will be grown in rows, 1.2m in width. A pervious weed mat will be provided between the rows over the existing grass to ensure no runoff from drip irrigation. The application proposes to grow native trees initially, however, this

ORDINARY MEETING

Meeting Date: 12 December 2006

can change. The intended trees include *Waterhousia floribunda*, *Tristaniosopsis laurina*, *Acmena smithii*, some *Eucalyptus* and *Callistemon*.

Drip irrigation will be applied to this area with each tree having an individual pot dipper to eliminate water runoff and reduce evaporation.

An 8-12 months slow release fertilizer is proposed to be applied to the plants. The application also indicates that since only native trees or shrubs are to be planted, there will be no need for fungicides and other chemicals in this area. No chemicals including Ronstar will be used on any plants.

Cut Foliage Growing Area - Nyalla

The cut foliage growing area will be situated north of the existing dam and include native grasses called *Lomandra Nyalla* or other similar plants. These grasses will be used for cut foliage for floral arrangements. The area will initially be hand watered for the first 8-13 weeks to establish the plants and later it will rely on natural rainfall unless there is a severe drought. The existing grass will be maintained and mown when required. This will assist in minimising any runoff. However, should there be any runoff it will be diverted to dam 2 via a dish drain and pumped back to top up dam 1.

Grassed Area

These areas cover approximately 30 metre deep strip along the front boundary. Existing ground levels and conditions are proposed to be maintained.

Filter Pond

The filter pond will be adjacent to the existing dam and will trap runoff from the testing and breeding area through dish drains. The filter pond will collect any chemicals or silt residues before any runoff entering the dam. The filter pond will be 8 metres x 8 metres and approximately 3 metres deep.

Dam 1

The existing dam 1 which has a capacity of 0.96 megalitres will be retained and used for water storage and recycling water for irrigation purposes.

New Shed for Ozbreed Offices

The existing shed will be demolished and replaced with a 150m² new shed in colorbond construction. The floor to ceiling height of new shed will be 2.4 metres with the ridge height being 5.3 metres. The shed will be used as an office. The high roof pitch will allow extra space in the loft to store records and other important items relating to the operations of the business. The new shed is of a comparable in scale to that being demolished.

Existing Barn Shed

The existing barn shed will be retained and used for the storage of tractor and other tools and equipment relating to the use of the site.

Existing Cottage

The existing cottage will be upgraded and used for habitable purposes.

Existing Shelter

The existing shelter located within the proposed Advanced Tree Growing area will be retained and used by the workers of nursery.

ORDINARY MEETING

Meeting Date: 12 December 2006

Existing Water Tanks

The existing water tanks will be relocated to the east of the proposed new shed. Any overflow will be connected through a pipe to the dish drain which will flow the water to dam 1 via filtration pond.

Proposed New Dam 2

The proposed Dam 2 is located along the northeastern corner of the site. The Dam will be of 0.65 megalitre capacity. This dam will be used for the storage of water from the site. This water will be pumped to the existing dam for irrigation purposes.

Use of Chemicals

The application proposes to use Round Up Bioactive as the only chemical on this development. A maximum of five litres of Round Up will be stored on site at any given time. This will be stored high in shelves in the shed above 1 in 100 year flood height.

The original application also proposes to use Ronstar, however on 27 November 2006 a correspondence was received which indicate that Ronstar will not be used.

Staff level, Visitors and Deliveries

The application proposes that there will be a maximum of four people working on the site for the first two to three years with the number increasing to six after five years. This includes the applicant's son who will be occupying the existing dwelling house on the property.

The application provides that there will be a maximum of 2-3 visitors per week. A monthly customer meeting involving a maximum of five people will be held on site. A six ton truck is proposed to be used on a weekly basis to take the Plants to a secondary nursery for sale. Potting mix will be delivered to the site once a month in bulkier bags with potting mix required on the site for a eight weeks of the year.

Tree Removal

It is proposed to remove one tree located adjacent to the existing shed. The application indicates that the removal is required due to infestation of borers and possible white ants. Additional landscaping is required along the western boundary as a condition of any consent.

Integrated Development

The application proposes a new dam with a capacity of 0.65mega litres. The total dam capacity including the existing dam of 0.96 mega litre capacity will be 1.61mega litres. In accordance with the Department of Natural Resources Farm Dam Policy the property has a maximum Harvestable Rights of 0.3 Mega litres. Since the dam capacity exceeds the Maximum Harvestable Rights, the development is therefore "Integrated" development pursuant to Section 91 of the Environmental Planning and Assessment Act 1979.

The Department of Natural Resources has issued a surface water licence under Part 2 of the Water Act (1912) as the proposed dam and an existing dam exceeds the "Harvestable Rights" for the property. The Department has issued General Terms of Approval as required under the Environmental Planning and Assessment Regulations Division 3 and require all the conditions must be included in any consent granted by consent authority.

Background

There is no previous history of development on the subject land.

ORDINARY MEETING

Meeting Date: 12 December 2006

Statutory Situation

Matters for consideration under Section 79(c) of the Environmental Planning and Assessment Act 1979

a) the provisions of:

i) any environmental planning instrument (ie LEPs, REPs & SEPPs)

Sydney Regional Environmental Planning Policy 20. (No.2 - 1997) - Hawkesbury - Nepean River (SREP No. 20).

The subject land falls within the boundary of SREP 20. This Policy aims "to protect the environment of the Hawkesbury-Nepean River system by ensuring that the impacts of future land uses are considered in a regional context." SREP 20 requires Council to assess development applications with regard to the general and specific considerations, policies and strategies set out in the Policy including those relating to total catchment management, environmentally sensitive areas, water quality, water quantity, flora and fauna, agricultural/aquaculture and fishing, rural residential development, and metropolitan strategy.

Comment:

It is considered that the proposed development will not significantly impact on the environment of the Hawkesbury - Nepean River either in a local and regional context and that the development is not inconsistent with the general or specific aims, planning considerations, planning policies, recommended strategies and development controls.

State Environmental Planning Policy No. 44 - Koala Habitat Protection

S.E.P.P. No. 44 *"aims to encourage the proper conservation and management of areas of natural vegetation that provide habitat for koalas to ensure a permanent free-living population over their present range and reverse the current trend of koala population decline:*

- (a) by requiring the preparation of plans of management before development consent can be granted in relation to areas of core koala habitat; and*
- (b) by encouraging the identification of areas of core koala habitat; and*
- (c) by encouraging the inclusion of areas of core koala habitat in environment protection zones."*

State Planning Policy No. 44 - Koala Habitat applies to land within the Hawkesbury Local Government Area to which a development application has been made and has an area of more than 1 hectare.

Comment:

The proposal does not involve the removal of native vegetation and therefore will have no impact on koala habitat, if present, on the site. Under clause 8 of S.E.P.P. No. 44 Council is not prevented from granting consent to the proposal.

Hawkesbury Local Environmental Plan 1989 (LEP)

Clause 2 - Aims, objectives etc.

The proposed development is considered to be consistent with the general aims and objectives as outlined in Clause 2 of the LEP.

Clause 8 - Zones indicated on the map

The subject land is zoned Rural Living.

Clause 9 – Carrying out development

The proposal is permissible with development consent within the Rural Living zone

Clause 9A – Zone objectives

The proposed development is considered to be consistent with the objectives of the Rural Living zone. The stated objectives of this zone and the proposal's degree of compliance with these objectives is detailed as follows:

(a) *to provide primarily for a rural residential lifestyle,*

The subject application proposes the establishment of a wholesale plant nursery and use of the exiting cottage on site for habitable purposes. Whilst the proposed use is not a residential development, it is noted that the objective provide for a broader range of uses within the zone and it is considered that the proposed use as a nursery is not likely to have any unreasonable impact on the rural residential character of the area.

(b) *to enable identified agricultural land uses to continue in operation*

The subject land is not currently used for agricultural purposes. The proposed use will introduce an activity which is consistent with the zoning of land.

(c) *to minimise conflict with rural living land uses,*

The locality is used for agricultural and rural residential purposes. The use of the property as a wholesale plant nursery is not expected to create conflict with those adjoining land uses. The proposed use of the property and scale is not considered to be inconsistent with the rural character of the area.

(d) *to ensure that agricultural activity is sustainable,*

The proposal involves a form of agricultural activity including growing advanced trees, plant breeding and testing and cut foliage. The details provided with the application indicates that the proposal is not likely to have unreasonable environmental impact and the extent of activity is sustainable.

(e) *to provide for rural residential development on former agricultural land if the land has been remediated,*

The proposal is to use the land for agricultural purposes and does not involve intensification of existing residential use of the land.

(f) *to preserve the rural landscape character of the area by controlling the choice and colour of building materials and the position of buildings, access roads and landscaping,*

The proposal involves the use of the existing driveway to access the site. The existing shed is to be replaced with a shed of a similar bulk and materials. This shed is located approximately 200m from the street which will minimise any visual impact and assist in maintaining the established rural landscape character of the area.

(g) *to allow for agricultural land uses that are ancillary to an approved rural residential land use that will not have significant adverse environmental effects or conflict with other land uses in the locality,*

The proposed activity provides for agricultural activity ancillary to the existing residential use of land and it is considered that appropriate measures are proposed to limit any significant adverse environmental impacts.

(h) *to ensure that development occurs in a manner:*

ORDINARY MEETING

Meeting Date: 12 December 2006

- (i) *that does not have a significant adverse effect on water catchments, including surface and groundwater quality and flows, land surface conditions and important ecosystems such as streams and wetlands, and*

The subject site is located in proximity to Longneck Lagoon which is on No. 271 Cattai Road. There is an existing dam on the property and a new dam is proposed along the northeastern boundary of the site. The application proposes to use drip irrigation to water plants which will minimise any runoff. Any excess water will be diverted to filtration ponds via the dish drains before entering the dams. This will eliminate any likelihood of polluting the lagoon as well the waterways.

- (j) *that satisfies best practice guidelines and best management practices,*

It is considered that the proposed development can be managed to satisfy best practice guidelines.

- (k) *to prevent the establishment of traffic generating development along main and arterial roads,*

The proposal involves a small scale wholesale plant nursery which is not considered to represent a significant traffic generating development.

- (l) *to ensure that development does not create unreasonable economic demands for the provision or extension of public amenities or services.*

The proposed wholesale plant will not be required to upgrade existing infrastructure and is not likely to create an unreasonable demands for the provision or extension of public amenities or services.

Relevant clauses from HLEP 1989:

Clause 18 - Provision of water, sewerage etc. services

Services to the property are considered adequate for the proposal.

Clause 22 - Development fronting a main or arterial road

The subject site is located on Cattai Road which is a main road. Clause 22 of the LEP 1989 requires consideration of the following matters on developments fronting main roads:

- (1) In determining any application for consent to carry out development in any zone where the land has a frontage to a main or arterial road, the Council shall have regard, in addition to the matters specified in section 79C (1) of the Act, to the following principles:

- (a) *Development should be of a type compatible with the maintenance and enhancement, as far as is practicable, of the existing scenic character of the locality.*

The proposed wholesale plant nursery is permissible in the zone and is compatible with the existing land uses in the area.

- (b) *Development should not generate significant additional traffic or create or increase ribbon development directly along a main or arterial road, relative to the capacity and safety of the road.*

The proposed development is not considered to be a traffic generating development. This existing access driveway is adequate to service the proposed use. The proposal is not anticipated to result in a ribbon development along the main road.

- (c) *Any building should be sited and designed to be of an appropriate scale, so as to maintain the character of the area, to minimise disturbance to the landscape, not to intrude into the skyline and to maintain an overall pattern of building development that is consistent with the character of the area.*

ORDINARY MEETING

Meeting Date: 12 December 2006

A new shed replacing the existing shed has been proposed. This shed is of similar scale and bulk to that which is being replaced. The shed would not require removal of any trees and will not be intrusive. The proposed new shed will be consistent with other building on the subject site and those on the adjoining lands.

(d) *Any building should be set back, from the nearest alignment of the main or arterial road, the distance to be determined by the Council having regard to:*

(i) *the nature, scale and function of the building,*

The proposed new colorbond shed is of similar scale and bulk that is being demolished. This shed is to be used for storage and office for the nursery.

(ii) *the maximisation of sight distances for drivers, including visibility of points of access,*

The proposed shed is setback in excess of 200m from the street. A 30m-grassed area is provided at the front which will ensure the existing sight lines are maintained.

(ii) *the minimisation of distractions to drivers, and*

The proposed development is not likely to result in any distraction to drivers.

(iii) *any possible need to alter the road alignment in the future.*

The proposed development does not require any change to the road alignment.

(2) *Notwithstanding clause 9, the Council shall not grant consent to the carrying out of development for the purpose of any of the following on land which is in Zone No 7 (d) or in the Mixed Agriculture, Rural Living, Rural Village, Environmental Protection—Agriculture Protection (Scenic) or Environmental Protection—Mixed Agriculture (Scenic) zone and which has direct vehicular access to a main or arterial road:*

bulky goods sales rooms or showrooms, car repair stations, caravan parks, commercial premises, general stores, hotels, junk yards, motor showrooms, produce stores, refreshment rooms, retail plant nurseries, roadside stalls, service stations, shops, transport terminals and warehouses.

The subject site is zoned Rural Living. The proposed wholesale plant nursery is not one of the uses identified in the above list that Council should not consent to if it has direct vehicular access to a main or arterial road.

(3) *Direct vehicular access from any land to a main or arterial road is prohibited. However, if, in the opinion of the Council, there is no reasonable alternative access to the land from another road, the Council may consent to access to a main or arterial road if such access will be located and designed so as to minimise potential traffic hazards.*

The proposal will not result in any conflict with the existing traffic or it is likely to create any significant traffic hazards.

Clause 25 - Development of flood liable land

The subject site has natural ground levels between approximately 8m AHD and 14m AHD, placing the land below, the 1-in-100 year flood level of approximately 17.3m AHD for the locality.

The proposal involves the replacing of existing shed with no other structures being added. The plant nursery does not require any changes to the natural ground levels. The proposal is therefore consistent with Clause 25.

Clause 27 - Heritage items

The site does not contain any heritage items identified in Schedule 1 of HLEP 1989.

Clause 37A - Development on land identified on Acid Sulfate Soils Planning Map

The subject property falls within Class 5 as identified on the Acid Sulfate Soils Planning Map. The adjoining properties fall within class 3 and 4. The Class 3 land is located between 10 and 50m of the Class 5 land. A 30m buffer is required at the northern and eastern boundaries which will increase the separation with Class 3 land to between 40m and 80m. The only new structure proposed near the boundary is the new dam and it is considered that the proposed works will not result in the lowering of the water table.

Clause 44 – Intensive Agriculture

This clause defines intensive agriculture to mean intensive animal production or intensive horticulture. 'Intensive horticulture' is further defined as *"the growing of plants or fungi involving any of the following:*

- (a) *hydroponics;*
- (b) *artificial housing;*
- (c) *crop protection structures;*
- (d) *market gardening;*
- (e) *orcharding; or*
- (f) *the growing of field flowers.*

This clause permits intensive agriculture, with development consent, on land zoned Rural Living.

Subclause (4) states that "The Council, in determining an application for consent required by this clause shall take into consideration the following matters:

- (a) *the need to protect the quality of downstream watercourses;*

Comment:

The proposed activity involves the harvesting of foliage, growing of advanced tree species and testing and breeding of plants. Plant species are mostly native and therefore will require minimal supplementary watering and use of slow release fertilisers only with some spraying of Round Up Bioactive. A detached portion of Longneck Lagoon is located on the adjoining property to the northeast. It is considered that, due to the location of plant beds with a 30 metre setback required at the boundary for tree planting and construction of a new dam, the scale and nature of the activity, there will be not significant adverse impact on the quality of the wetland.

- (b) *the need to conserve native vegetation;*

Comment:

No native vegetation will be removed as a result of this activity. Conditions of consent will be imposed to ensure that excessive harvesting will not be carried out to the detriment of the naturally occurring plants. Additional trees of native species are required to be planted along the western boundary to improve the landscape quality of the area.

- (c) *the need to protect environmentally sensitive areas, such as wetlands, riparian zones, endangered ecological communities and threatened species within the meaning of the Threatened Species Conservation Act 1995;*

Comment:

The proposed development will have no significant impact on environmentally sensitive areas, wetlands, endangered ecological communities or threatened species.

- (d) *the need to protect the amenity of the area from noise, spray drift, odour or any other potentially offensive sources; and*

Comment:

It is proposed to use handheld sprays to spraying Roundup Bioactive. This will minimise any likely drift to the adjoining land. A tree buffer is also proposed along the western boundary which will minimise drift on to the adjoining lands. Given the location, nature and scale of this proposal it is considered that no unreasonable impacts on the amenity of the area from noise, spray drift, or odour is predicted.

- (e) *the need to limit the impact of development on flood liable land.*

Comment:

The proposal does not include any new structures other than a new shed which is to replace the existing dilapidated shed. The proposed new nursery does not involve changes to the existing natural ground which will minimise any significant impacts on the existing flood regime.

- ii) **any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority**

There are no draft planning instruments that are relevant to the proposed development.

- iii) **any development control plan applying to the land**

Hawkesbury Development Control Plan

The Hawkesbury Development Control Plan applies to the proposal. An assessment of the proposal against the relevant provisions of this Plan follow:

General Information Chapter

This Chapter provides an explanation of the development application process and provides the requirements for lodging a development application for different landuses.

It is considered the subject application provides adequate information for the assessment of the proposal and generally complies with this Chapter.

Erosion and Sediment Control Chapter

The objectives of this Chapter are to:

- investigate site features;
- prepare a Soil Erosion and Sedimentation Control Plan;
- save topsoil for reuse;
- control run-off onto, through and from the site;
- use erosion control measures to prevent on-site damage;
- rehabilitate disturbed areas quickly; and
- maintain erosion and sediment control measures.

It is a requirement of this plan that any proposal which will or may involve the disturbance of the existing surface of the earth or placement of fill or changes in the rate and/or volume of run-off entering a watercourse, or flowing over land, shall be subject to the provisions of this chapter.

Comment:

Erosion and sediment control will be enforced through conditions of consent in respect to both construction works and the use of the property as a wholesale plant nursery.

Notification Chapter

The aim of this chapter is to identify under what circumstances development proposals will need to be advertised and the means by which it will be advertised to provide for public participation.

Comment:

The adjoining neighbours were notified as per the requirements of this DCP on two occasions. Six (6) submissions were received on each occasion and are discussed further in the report.

Rural Sheds Chapter

The aim of this Chapter is to enable the erection of sheds on rural properties in a manner which compliments the rural character of the landscape and has minimal impact on the scenic qualities of an area and to provide design principles for the construction of these buildings. The proposal fully complies with requirements with the exception of height of the shed. The policy requires that:

- "a) The total height of a rural shed erected in Rural 1(c) and 1(c1) zones shall be no more than 5m or no higher than the height of the ridgeline of the dwelling house on the same property, whichever is less.*
- B)In other zones the total height of a rural shed exceeding 5m shall be justified in terms of the use of the shed and the visual impact of the development.*
- c) The total height of 'barn style' sheds may exceed 5m based on individual merit."*

The proposed shed which is to be used as an office for the wholesale nursery has a ridge height of 5.3m. The shed will have ground offices and storage area within the mezzanine floor.

The applicant states that the additional ridge height is required to create storage and archive area for important business records and to locate backup device for computers. The additional height will create a useable mezzanine area and it will provide security for important records and equipment in the event of a 1 in 100 year flood event.

Comment

The main aim to control height of rural sheds is to minimise their dominance and bulk in the landscape. The wall height of the proposed shed will be 2.1m. The shed will have a roof pitch of 30.0°, which is considered desirable in relation to reducing the bulk of the building and its visual dominance. The form is also consistent with other sheds in the locality. The applicant's argument regarding the need for a mezzanine floor space for security in 1 in 100 flood event is acceptable. The additional 300mm is not considered to have any adverse impact on the visual amenity of the area.

iv) any matters prescribed by the regulations

Suitable conditions of consent shall be imposed with regard to the Building Code of Australia and other environmental issues.

- b) the likely impacts the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality** (Refer to list of potential matters as a guide. Additional matters may be relevant and should be included)

The relevant matters under Section 79C are discussed below.

- c) the suitability of the site for the development** (Refer to list of potential matters as a guide additional matters may be relevant and should be included.)

ORDINARY MEETING

Meeting Date: 12 December 2006

The surrounding land uses include agricultural and rural residential. There are no constraints from surrounding land uses that would make this development prohibitive. Access to the site is satisfactory and it is considered that the proposed development will not lead to unmanageable transport demands.

The use of fertilisers is limited to slow release and handheld sprayers to do the spraying of Round Up bioactive. It is considered that the air quality and microclimate is appropriate for the proposed development and no significant impact is envisaged on the adjoining properties and land uses.

There are no known hazardous land uses/activities nearby. Ambient noise levels are suitable for the development.

The site is not critical to the water cycle of the catchment as adequate separation is available from the Longneck Lagoon to minimise impacts. The development will not impact upon critical habitats and threatened species, populations, ecological communities and habitats.

The site attributes are conducive to the development. It is therefore concluded that the site is suitable for the proposed development.

d) any submissions made in accordance with the EPA Act or Regulations (Include public submissions and other government authority submissions.)

Following notification of the application, six (6) submissions of objections were received. The applicant responded to the issues raised and the response was forwarded to those who originally made submissions. The objectors reiterated their previous concerns. The matters raised in these submissions are addressed below:

- *What is testing and breeding area*

Comments

The application indicates that testing and breeding area is for the Growing area for of new plants. This area is also for testing plants that have already been bred, for example 10 pots of one variety plants may be planted in 5 different sizes to evaluate the best size and to get photos of plants. It is also a holding area for small number of plants that have been bred to allow keeping original plants. Plants of similar species will be grown next to each other to facilitate pollination naturally and for germinating seeds to be used at other locations. Plants will be grown in small numbers in pots and eventually choose a plant that is better than the others.

- *Cut foliage area is 50m x 35m. What goes in the area for storage.*

Comments

The application indicates that this area will be used for to grow native like grass called Lomandra Nyalla or similar other plants. These grasses will be used for cut foliage for floral arrangements. This area will be initially be hand watered for 8-14 weeks but after that the plants will rely on natural rainfall, unless there is severe drought.

There is no storage proposed in the cut and foliage area.

- *Grassland area at the front of the site has Telstra Optic cable in Ground, reasoning behind this.*

Comments

The existing grassland area at the front of the site, nearly 30m in width, is to be maintained with no changes to the natural ground levels. This would allow any existing Telstra infrastructures to remain unaffected.

ORDINARY MEETING

Meeting Date: 12 December 2006

- *Filtration pond, what is going to go into filter pond*

The application indicates that the filtration pond will collect runoff water through the dish drains from the breeding and testing area. It will collect and filter any silt or chemical residue before reaching the dam.

- *Dam 1 where does the water come from as we are in drought area, and have no town water*

The dam exists and no change is proposed. The dam will continue to rely on rainwater.

- *New shed is 150m2. How many sheds could be built in the future on the site*

The new shed is replacing the existing shed of the same size and bulk. Any further sheds would require approval from Council.

- *Is the existing electricity net work has a capacity for the increase demand generated by the proposed use.*

The site is serviced and any augmentation as a result of the development would be a matter for the energy provider to decide if additional load can be provided to the site.

- *What fertilisers and chemicals are to kept onsite, what way they are going to be controlled and will they implement HASAP and MDA procedures, so that the surrounding homes are not affected*

The development will use only slow release fertilizers. The only chemical to be used and kept on site will be Round up Bioactive. A maximum of 5 litres will be kept on site. It will be used in accordance with manufacturer's specifications and Material Safety Data Sheets. The application previously proposed to use Ronstar however the applicant on 27 November 2006 indicated that Ronstar would not be used. All spraying will be carried out by hand held sprayers and will not be conducted on windy days to avoid any drift.

- *What insecticides will be used and how they are going to affect our water supply as all the roof water goes into the water tank. Should there be any sickness who will be responsible*

The application indicates that no insecticides will be used. The spraying of Round up Bioactive will be carried by handheld sprayers and spraying will not be conducted on windy days. This will minimise any drift on to the adjoining properties. In addition a 3 metres wide vegetation strip along the western boundary for planting native trees would further reduce any drift on to the adjoining properties.

- *Health risk especially asthma and allergies due to pollens*

The application indicates that the amount of pollen produce by the native plants to be grown on site will be minimal. The existing grassland on the property and the adjoining lands mostly of Rye specie will produce much more pollens than the new plants. Reducing most of the plants require assistance from insects or birds to pollinate making them good plants for asthmatics. The applicant argues that reducing the extent of Rye would actually improve the situation.

- *Commercial business in a residential area*

The subject land is zoned Rural Living which allows the proposed wholesale plant nursery with Council's consent.

- *The proposed site is an infringement on our privacy*

The proposed new shed will have an entry from the eastern side which reduce overlooking on to the adjoining property. In addition, three metre landscape strip is required along the western boundary to plant trees. This will minimise any views to the adjoining property from the subject land. It is not considered that the proposed development will have any significant infringement of privacy on the adjoining lands.

ORDINARY MEETING

Meeting Date: 12 December 2006

- *Noise from the site, how many people will be working and what are the trading hours, what is Council guideline on noise.*

There will be 4 full time staff initially with a maximum of 6 staff in 5 years time. This includes both the office and outdoor staff working in the nursery. The general office hours for office staff are proposed to be 8:30am to 5:00pm whereas the outdoor staff may work between 7:30am and 5:00pm. The proposed hours of operation and staff levels are not likely to generate noise of unacceptable levels.

- *Forklift and machinery loaders have reversing beepers, which will generate noise*

The applicant acknowledges that all modern machinery beeps when reversing, however due to small scale nature of the operations, the use of machinery will be limited. It is not considered that the use of the machinery will result in noise of unacceptable levels. In addition, the impacts of the proposal in terms of noise, can be minimised by the proper management of the activity. Conditions of consent can be imposed to ensure appropriate practices are implemented to ensure that no adverse impacts on adjoining land result in respect to these impacts.

- *What size of trucks and how many movements per day*

The truck movements proposed are as follows:

A six tonne truck will be used to send advanced trees to another nursery in Clarendon, once a month
An 8-12 tonne truck will be used to deliver potting mix, once per month on an average
A station wagon will be used to deliver cut foliage to other sites, once a week

- *Cattai Road has an 80km speed limit, trucks leaving the site will be moving at a slow speed which will cause a major accident*

Access to the site is via an existing gravel driveway off Cattai Road. Council design Engineers have reviewed the application and provided comments that there is an adequate sight distance whilst exiting the site. It is considered that the proposed movements on Cattai Road do not adversely impact on traffic in the locality or safety with respect to the location of the existing driveway and site distances.

- *What is the impact to Pitt Town as it is not a commercial area*

The proposed use of the site is permissible in Rural living zone and the establishment of a wholesale nursery is not likely to have any economic impact on Pitt Town.

- *Invasion of privacy due to overlooking our home and devaluing our property*

As previously stated above, the proposed use of the land is not likely to give rise to any significant privacy issues. The proposed use as a wholesale plant nursery is consistent with the uses permissible in Rural Living zone. There is no evidence to suggest that the establishment of a wholesale nursery would affect property values in the locality.

- *There are no dish drains to take water runoff from the site, what measure are proposed to ensure run off from the proposed development does not affect the blocks and homes in case of heavy rains*

Dish drains are proposed to carry any runoff water from the testing and breeding area and advanced tree area to the dam. During prolonged periods of heavy rains runoff from the property to will enter the existing down stream catchment area in a similar manner that currently exists.

- *Pollution of Longneck Lagoon and Hawkesbury River. The Lagoon falls within a Regional scenic corridor of SREP 20*

ORDINARY MEETING

Meeting Date: 12 December 2006

No change is proposed to the existing water catchment, and it is unlikely to significantly impact on Longneck Lagoon. The application states that the proposed irrigation practices are so controlled and well planned that no water can run into the Lagoon. In addition, in case of a big storm event, the hydrology is not changed, and the design and operation of the nursery is such that no chemicals will get into the lagoon.

- *A new dam is to be built in the bottom corner, how the overflow into neighbouring dam then spill into the Lagoon and property*

The proposed new dam at the north eastern corner of the site has been approved by the Department of Natural Resources as part of an Integrated Development process. As previously stated, during prolonged periods of heavy rains runoff from the property will enter the existing down stream catchment area in a similar manner that currently exists.

- *The development will degrade our property resale as we came here for a rural lifestyle not a commercial one*

The proposed use of the land is consistent with the rural residential lifestyle envisaged in the Rural Living zoning of land. There is no evidence to suggest that the proposed wholesale nursery will affect re-sale of other properties in the area.

- *Chemicals and fertilizers on site is a danger to children and homes in the area*

This issue has been previously dealt previously in the report. There is a limited use of chemicals and fertilizers and it is not considered that any significant risk to children and other persons in the area will arise as a result of the proposed development.

- *Fire explosion plan, does this include explosion plan regarding chemicals and Fertilizers etc*

The application indicates that there will be no explosive chemicals or fertilizers kept on site.

- *Smells / odours re the fertilizers (Blood and Bone) how it will be controlled*

The application indicates that no smelly substances will be used in the nursery. Further controlled release fertilisers have no smell. The application does not propose to use Blood and Bone in the nursery. In addition, the impacts of the proposal in terms of smell, can be minimised by the proper management of the activity. Conditions of consent can be imposed to ensure appropriate practices are implemented to ensure that no adverse impacts on adjoining land result in respect to these impacts.

- *Will there be hot houses built in future for plants and would it require further application*

The proposal does not include the establishment of hothouses. A separate approval from Council will be required ,should there be any proposal to construct hothouses in future.

- *We have flood evacuation gates on all properties, they will be blocked by advanced tree growing area will this be addressed*

A 30m buffer is required as a condition of along the eastern and southern boundaries this would allow adequate space for evacuation. In addition the application provides that adequate gaps are provided between the trees and no gates will be blocked to ensure evacuation in case of flooding.

- *How many sheds will there be built in the future if the nursery is allowed to be built*

Any new sheds to be constructed in future will require approval from Council.

- *What trees and shrubs to be grown*

The application proposes to grow native trees initially, however this can change. The intended trees include Waterhousia floribunda, Tristaniospsis laurina, Acmena smithii, some Eucalyptus and Callistemon.

ORDINARY MEETING

Meeting Date: 12 December 2006

- *Leaching of chemicals and fertilizers*

The application proposes to use Round up Bioactive as the only chemical and a slow release fertilizer. Further, an 8-12 month slow release fertilizer applied to the plants is released so slowly that it does not reach outside the dimension of the pot. The type of fertilizer does cause leaching so no significant impact is envisaged on the ground and watertable.

Assessment of the matters identified above

Consideration has been given to s79C (1)(b) of the EP&A Act as shown below:

Context And Setting

Surrounding properties are predominantly used for rural residential purposes. The proposed development is not inconsistent with the previous and existing land uses and activities in the locality. The proposal maintains the residential use of the land and provides for additional agricultural activity which is permissible in the zone. The proposed development is not inconsistent or incompatible with the surrounding development.

The proposed development will not have a significant adverse impact on the scenic quality of the landscape and is in keeping with the rural residential character of the locality. The proposal will not unreasonably impact on the amenity of the area. Adequate separation is required in the form of a buffer along all properties which will ensure the surrounding properties will not be impacted upon in terms of sunlight access, overshadowing, loss of visual or acoustic privacy, or loss of views or vistas.

Access, Traffic and Transport

Access to the property is from Cattai Road which is a main road. Traffic generated by the development is considered minimal and there will be no significant impacts on the existing road network. Adequate sight distance is available at the property boundary which will ensure safety of the vehicles entering and leaving the site. The proposal is not a Traffic Generating Development under RTA guidelines. Given the minor increase in anticipated traffic volumes associated with the proposal, it is considered that the proposed wholesale nursery will not result in an unreasonable traffic impact upon Cattai Road.

The existing 4m driveway will be required to be upgraded to all weather access. In addition a passing bay, approximately midway along the driveway has been included in the recommended conditions of consent.

Utilities and Public Domain

Electricity and telephone is currently available to the site. Any augmentation of services can be provided in consultation with the appropriate service authorities. In accordance with Council's Section 94A Contribution Plan an appropriate condition has been included in the recommendation requiring payment of contribution for the provision of services which will be generated by the proposed development.

Details of the effluent and wastewater generated by the proposed development have not been submitted. Considering the size of the land, adequate provision can be made for the onsite disposal of wastewater. A condition of consent is included in the recommendation that requires details of the on-site wastewater disposal prior to the release of a construction certificate.

Heritage

The subject land is not listed as a heritage item.

Flora and Fauna

The proposal does not involve the disturbance or removal of native vegetation. It is therefore considered that the requirements of Part 5A of the EP & A Act are satisfied in that the proposed development will have no significant impact on threatened species, populations, ecological communities or their habitats.

Other Land Resources

The proposed development will not adversely impact on the land in respect to future agricultural use of the land.

Water

Roof water will be collected within the rainwater tanks for reuse. This water will be used in both the existing residence and the proposed office for wholesale nursery.

Soils

Erosion and sedimentation controls will be utilised during construction of the new shed.

It is considered that sedimentation measures be implemented to ensure that soil from the wholesale nursery do not reach the adjoining properties. This will be ensured through a condition of consent.

Air and Microclimate

The applicant has advised that any spraying will be carried out by handheld sprayers. In addition spraying will not be done on windy days. This will be ensured through a condition of consent. This will ensure minimal drift of chemicals on to the adjoining properties minimal air pollution and effects on microclimate

Landscaping along the western boundary will also aid in the reduction of dust and chemical drift affecting adjoining properties, and will be required by conditions of consent.

Waste

The site is to be kept tidy and maintained to the satisfaction of Council during the construction and use of the land.

Energy

Satisfactory

Noise and Vibration

It is not expected that the proposed development will result in offensive noise or vibration. The hours of operation of the indoor staff are between 8:30am and 5:00pm and outdoor staff between 7:30am and 5:00pm. The use of forklift and tractor may generate some noise however considering the proposed hours of operation and limited hours of use of forklift on an average for 4 hours per week will minimise any impacts on the adjoining properties.

Natural Hazards

The subject site is flood prone and is affected by 1 in 100 flood regime. No additional structures are to be built which will affect flooding in the area. The wholesale plant nursery proposes to plant trees in pots with a large space left around the trees to allow for the free flow of flood waters. The flooding risk to the property is not prohibitive to the development.

Technological Hazards

N/A

ORDINARY MEETING

Meeting Date: 12 December 2006

Safety, Security and Crime

Satisfactory

Social and Economic Impacts in the Locality

The proposed development is not expected to have negative social and economic impacts in this respect.

Site Design And Internal Design

The property is 3.7ha. The proportion of the site covered by buildings is minimal. The wholesale nursery mainly involves three activities including the establishment of advanced tree growing area, testing and breeding area and the cut foliage area. A new dam is also proposed along the northeastern corner of the site.

A 30 metre setback along the eastern and northern boundaries of the site is required as a condition of any consent. A three metre landscape buffer is also required along the western boundary to be used for planting trees. This will minimise any amenity and environmental impacts on the adjoining properties.

Construction

Construction of a new shed to be used as an office for the nursery is not expected to unreasonably impact upon surrounding neighbours.

Cumulative Impact

The proposed development is compatible with the surrounding landuses and no significant negative cumulative impact is foreseen.

Public Interest

The submissions of respondents have been identified previously in this report. It is considered that the concerns raised are not sufficient to warrant refusal of the application and can be addressed through appropriate conditions of consent.

Building/Health Comments

Not Referred

Environment & Waste Comments

No objection is raised subject to Conditions. Specific conditions include provision of 30m setbacks along the eastern and northern boundaries, a 3m-landscape strip along the western boundaries, safe storage and use of chemicals and fertilizers and control of dust and noise.

Engineering Comments

No objection is raised subject to conditions.

Conclusion

The proposed establishment of a wholesale plant nursery demonstrates satisfactory compliance with the provisions of Hawkesbury Local Environmental Plan 1989 and Hawkesbury Development Control Plan. It will provide for satisfactory measures to minimise any amenity impacts on the adjoining properties and environmental impacts on the locality. It is recommended that the application be approved.

Conformation to Strategic Plan

The recommendation conforms with the objectives as set out in the Strategic plan:

"A prosperous community sustained by a diverse local economy that encourages innovation and enterprise to attract people to live, work and invest in the city", and

"Sustainable and liveable communities that respect, preserve and manage the heritage, cultural and natural assets of the City."

Funding

No impact on Budget.

RECOMMENDATION:

That the application for the use of the land as a Wholesale Nursery and associated Office and Storage Shed on Lot 1 DP 747965 be approved subject to the following:

General Conditions

1. The development shall take place in accordance with the stamped plans, specifications and accompanying documentation submitted with the application except as modified by these further conditions.
2. The development shall be modified in the following manner:
 - a. a 30 metre setback is provided along the eastern and northern boundaries
 - b. a three metre landscape strip is provided along the eastern access road, adjacent to the advanced tree growing area and the testing and breeding area . This area is to be used for planting trees.
3. No excavation, site works or building works shall be commenced prior to the issue of an appropriate Construction Certificate.
4. The approved use shall not commence until all conditions of this Development Consent have been complied with.
5. The proposed new shed shall not be used or occupied prior to the issue of an Occupation Certificate.
6. The accredited certifier shall provide copies of all Part 4 certificates issued under the Environmental Planning and Assessment Act, 1979 relevant to this development to Hawkesbury City Council within 7 (seven) days of issuing the certificate. A registration fee applies.
7. The development shall comply with the provisions of the Building Code of Australia at all times.
8. The applicant shall make themselves aware of any User Restriction, Easements and Covenants to this property and shall comply with the requirements of any Section 88B Instrument relevant to the property in order to prevent the possibility of legal proceedings against them.
9. The development shall be carried out in accordance with the General Terms of Approval No. ERM2006/006784 dated 15 September 2006, issued by the Department of Natural Resources under Water Act (1912), copy of which is attached to this consent.

ORDINARY MEETING

Meeting Date: 12 December 2006

Prior To Issue Of Construction Certificate

10. An Environmental Management and Rehabilitation Plan for the development site shall be prepared by an appropriately qualified person. The Plan shall address (without being limited to) the clearing of vegetation, lopping and removal of trees, earthworks, erosion control, site rehabilitation and landscaping.
11. All site works shall be carried out in accordance with the Plan. Implementation of the Plan shall be supervised by an appropriately qualified person.
12. Construction of access, car park, drainage, dam, filling and filtration pond are not to commence until three (3) copies of the plans and specifications of the proposed works are submitted to and approved by the Director of Environment and Development or an Accredited Certifier.
13. Payment of a Construction Certificate checking fee of \$622.00 and a Compliance Certificate inspection fee of \$977.00 when submitting Civil Engineering Plans for approval. This amount is valid until 30 June 2007. Fees required if an Accredited Certifier is used will be provided on request.
14. Pursuant to section 80A(1) of the Environmental Planning and Assessment Act 1979 and Hawkesbury City Council's Section 94A Development Contributions Plan 2006 (as amended from time to time), a contribution of \$600 shall be paid to Hawkesbury City Council.

The amount to be paid is to be adjusted at the time of the actual payment, in accordance with the provisions of Hawkesbury City Council's Section 94A Development Contributions Plan 2006 (as amended from time to time).

15. The contribution is to be paid prior to the issue of the construction certificate and copies of receipts(s) confirming that the contribution has been fully paid are to be provided to the certifying authority.
16. A suitable qualified wastewater consultant shall provide a report to Hawkesbury City Council demonstrating that the existing on-site wastewater treatment system has adequate capacity to service the existing dwelling and the proposed development. Alternatively, an application shall be made to Hawkesbury City Council Prior To Commencement Of Works
17. A waste management plan shall be submitted to and approved by Council. The plan shall address any builder's waste and waste generated during the day-to-day operation of the development. Particular attention shall be paid to type and quantity of waste, recycling, reuse, storage and disposal.
18. Erosion and sediment control devices are to be installed and maintained at all times during site works and construction. The enclosed warning sign shall be affixed to the sediment fence/erosion control device.
19. A Sewer Management Facility System application shall be submitted to and approved by Council.
20. A copy of receipt of payment of Long Service Levy shall be provided to the Principal Certifying Authority prior to any works commencing on site. Payments can be made at Long Service Corporation offices or most Councils.
21. The applicant shall advise Council of the name, address and contact number of the principal certifier, in accordance with Section 81A 2(b) of the Environmental Planning and Assessment Act, 1979. Council for the installation of a new wastewater treatment system to service the proposed development.
22. At least two days prior to commencement of works, notice is to be given to Hawkesbury City Council, in accordance with the Environmental Planning and Assessment Regulation.

ORDINARY MEETING

Meeting Date: 12 December 2006

23. Toilet facilities (to the satisfaction of Council) shall be provided for workmen throughout the course of building operations. Such facility shall be located wholly within the property boundary.
24. A sign displaying the following information is to be erected adjacent to each access point and to be easily seen from the public road. The sign is to be maintained for the duration of works:
 - a. Unauthorised access to the site is prohibited.
 - b. The owner of the site.
 - c. The person/company carrying out the site works and telephone number (including 24 hour 7 days emergency numbers).
 - d. The name and contact number of the Principal Certifying Authority.
25. A qualified Structural Engineer's design for all reinforced concrete and structural steel shall be provided to the Principal Certifying Authority prior to any works commencing on site.

During Construction

26. The dam shall be constructed in accordance with the Dam Construction chapter of Hawkesbury Development Control Plan.
27. All necessary works being carried out to ensure that any natural water flow from adjoining properties is not impeded or diverted.
28. Site and building works (including the delivery of materials to and from the property) shall be carried out only on Monday to Friday between 7am – 6pm and on Saturdays between 8am – 4pm.
29. The site shall be kept clean and tidy during the construction period and all unused building materials and rubbish shall be removed from the site upon completion of the project. The following restrictions apply during construction:
30. Stockpiles of topsoil, sand, aggregate, spoil or other material shall be stored clear of any drainage path or easement, natural watercourse, footpath, kerb or road surface and shall have measures in place to prevent the movement of such material off site.
31. Building operations such as brick cutting, washing tools, concreting and bricklaying shall be undertaken only within the site.
32. Builder's waste must not be burnt or buried on site. All waste (including felled trees) must be contained and removed to a Waste Disposal Depot.
33. At all times during demolition, a competent person shall directly supervise work. It is the responsibility of the person to ensure that:
34. Adjoining owners are given 24 (twenty four) hours notice, in writing, prior to commencing demolition.
35. Utility services within the structure not required to be maintained during the demolition work shall be properly disconnected and sealed before any demolition commences.
36. The site shall be secured at all times against the unauthorised entry of persons or vehicles.
37. Safe access and egress from adjoining buildings is to be maintained at all times for the duration of the demolition work.

ORDINARY MEETING

Meeting Date: 12 December 2006

38. Precautions are taken to ensure that the stability of all parts of the structure and the safety of persons on and outside the site are maintained, particularly in the event of sudden and severe weather changes.
39. The structure and all components shall be maintained in a stable and safe condition at all stages of the demolition work.
40. Demolition activity shall not cause damage to or adversely affect the structural integrity of adjoining buildings.
41. Removal of dangerous or hazardous materials shall be carried out in accordance with the provisions of all applicable State legislation and with any relevant recommendations published by the National Occupational Health and Safety Commission (Worksafe Australia).
42. All work shall be carried out in accordance with AS2601 and the Work Plan submitted with the development application.
43. Unless otherwise permitted by Council, the structure is to be demolished in reverse order of construction, being progressive and having regard to the type of construction, to enable the maximum separation and recycling of demolished materials to take place.
44. No material is to be burnt on site.
45. Mandatory inspections shall be carried out and Compliance Certificates issued only by Council or an accredited certifier for the following components or construction:

Note: Structural Engineer's Certificates, Drainage Diagrams and Wet Area Installation Certificates are NOT acceptable unless they are from an accredited person.

- (a) commencement of work (including erosion controls, site works and site set out);
 - (b) piers;
 - (d) internal sewer or stormwater lines prior to covering;
 - (e) steel reinforcement prior to pouring concrete;
 - (f) external sewer or stormwater lines, prior to backfilling;
 - (j) wet area flashing, after the installation of bath and shower fixtures;
 - (l) swimming pool fencing, prior to the pool being filled with water;
 - (n) prior to occupation of the building;
46. Council records indicate that the building site is at a level of approximately 14 metres AHD. All materials used in the construction below the level of 16.9 metres AHD shall be capable of withstanding prolonged immersion in water without swelling or deteriorating.
 47. Any stormwater drainage pit shall be of adequate size and be fitted centrally with vertical overflow pipes and be located so as not to interfere with any other property or sewer drainage system.
 48. All natural and subsurface water-flow shall not be re-directed or concentrated to adjoining properties. Water flows shall follow the original flow direction without increased velocity.
 49. Construction of an all weather access driveway a minimum of 4 metres wide, parking area, manoeuvring and loading areas to accommodate the largest vehicle expected to visit the site. A passing bay is to be constructed approximately midway along the access driveway. A minimum of 8 car spaces shall be provided. Parking and manoeuvring areas shall comply with the requirements of AS2890.1 - 2004 and AS2890.2 – 2002.

ORDINARY MEETING

Meeting Date: 12 December 2006

50. All civil construction works required by this consent shall be in accordance with Hawkesbury Development Control Plan appendix E Civil Works Specification.
51. A bitumen sealed rural footway and concrete dish drain a minimum of 4 metres wide, with suitable splays to accommodate the turning movement of the largest vehicle expected to visit the site, shall be constructed to the development lot in accordance with Hawkesbury Development Control Plan Appendix E, Civil Works Specifications.

Prior To Issue Of Occupation Certificate

52. Compliance with all conditions of this development consent.
53. Written clearance from Integral Energy shall be submitted to the Principal Certifying Authority.
54. The applicant shall submit a report from a suitably qualified Engineer which verifies the following:
55. Any damage to the proposed structure sustained in a flood will not generate debris capable of causing damage to downstream buildings or property.
56. Any part of the structure at or below the 1 in 100 year flood level will be able to withstand the force of floodwaters (including buoyancy forces) and the impact of debris.
57. All finishes, plant fittings and equipment subject to inundation will be of materials and functional capability resistant to the effects of floodwaters.
58. The structural adequacy of the dam and spillway capacity is to be certified by a suitably qualified and experienced engineer.
59. A works as executed plan shall be submitted to Council on completion of works. The plan shall include the location of the constructed dam in relation to property boundaries

Use Of The Development

60. Plant and maintain a minimum buffer zone of thirty (30) meters along eastern and northern boundaries. This zone is to be planted out in the form of a hedgerow containing tall, medium and small vegetation to completely block any line of sight with species that are indigenous with the surrounding environment. Alternatively this can be used for 'Cut Foliage Area' instead of Area 3. Care is to be taken at all times not to interfere or damage the root structure of this zone with the operations of the proposed activity and maintained in a healthy condition.
61. Plant and maintain a minimum buffer zone of three (3) meters along the western access road adjacent to the advanced tree growing area and breeding and testing area. This zone is to be planted out in the form of a hedgerow containing tall, medium and small vegetation to completely block any line of sight with species that are indigenous with the surrounding environment. Care is to be taken at all times not to interfere or damage the root structure of this zone with the operations of the proposed activity and maintained in a healthy condition.
62. Stock piles of any organic animal manures are to be covered with tarpaulin and bunded by an earth mound immediately upon delivery. Stock piles of this type of material must be limited to thirty tonnes at any one time and completely used within fourteen days from delivery and prior to any further loads arriving on the premises.
63. Chemical containers are to be disposed of through the Drum Muster program conducted at the Hawkesbury City Waste Management Facility, The Driftway, South Windsor or an authorised disposal facility.
64. The irrigation pump is to be housed in an enclosure acoustically designed that significantly reduces noise emissions to achieve a reading of not more than 5dbA above background at any boundary.

ORDINARY MEETING

Meeting Date: 12 December 2006

65. The development shall be conducted in such a manner that noise levels measured at any residential boundary so not exceed 5dB(A) above background noise levels.
66. Dust control measures, eg water shall be applied to reduce surface and airborne movement of sediment blown from exposed areas. The development shall be conducted in such a manner so as not to interfere with the amenity of the neighbourhood in respect to noise, vibration, odour, dust, wastewater, waste products or otherwise.
67. The application, managing and record keeping of pesticides on the premises must comply with the following legislation, Pesticides Act 1999, WorkCover NSW 1998, "Code of Practice for the Safe Use of Pesticides and Storage of Chemicals in Agriculture" and NSW Agriculture 1998, "Principles of Spray Drift Management".
68. Treated wastewater pipelines and fittings must be clearly identified. Standard water taps, hoses and cocks must not be fitted to irrigation pipelines, and the irrigation system must not be connected to other pipelines.
69. Adequate notices, warnings to the public not to drink or otherwise use the treated wastewater, must be erected on the site. These notices must be in legible English and in any other languages as may be necessary and must indicate at least the water is "Reclaimed Sewage- unfit for drinking".
70. All stormwater and seepage from higher levels shall be diverted away from the effluent disposal area by a suitable drain or earth mound. Such drains/mounds shall be maintained in a satisfactory condition at all times.
71. The landowner must ensure that the system of sewage management does not cause sewage or treated effluent to be discharged into any watercourse, stormwater drain or onto any land other than its related effluent application area (clause 48(3) Local Government (Approvals) Regulation 1999).
72. If the system of sewage management includes any components that are the subject of a certificate of accreditation issued by NSW Health then any relevant conditions of accreditation must be complied with (clause 48(4) Local Government (General) Regulation 1999).
73. The property will be subject to an inspection regime based on the environmental risk assessment of the site. Sewage management facilities shall be categorised as high, medium or low risk. Systems categorised as high risk require an inspection once a year, medium will require an inspection once every 3 years, and low risk will require an inspection once every 5 years.
74. The application, managing and record keeping of pesticide on the premises must comply with the following legislation, Pesticide Act 1999, Workcover NSW 1998, Code of Practice for the safe Use of Pesticides and storage of Chemicals in Agriculture" and NSW Agriculture 1998, "Principles of Spray Drift management". Only chemicals that have been assessed and registered with the National registration Authority for Agricultural and Veterinary Chemicals (NRA) are permitted on the premises. Many pesticides, because of their flammability or combustibility or toxicity, are classified as dangerous goods. While dangerous goods are being transported on public roads they are regulated by EPA under the Road and Rail Transport (Dangerous Goods) Act 1997. The legal definition of a pesticide under the Pesticides Act does in fact, cover herbicides, fungicides, rodenticides, bactericides. Baits, lures and repellents.
75. No internal or external alterations shall be carried out without prior approval of Council.
76. All fire safety equipment and fixtures shall be regularly serviced and maintained. The owner or their agent shall certify annually that each of the fire safety measures specified in this statement has:
 - * been assessed by a properly qualified person, and
 - * found, when it was assessed, to be capable of performing to at least the standard required by the current Fire Safety Schedule for the building for which the certificate is issued.

ORDINARY MEETING

Meeting Date: 12 December 2006

77. The office building shall not be occupied for human habitation/residential, industrial or commercial purposes.
78. All water quality measures are to be maintained so that the development has a neutral effect on the water quality leaving the site as compared to the quality prior to development.
79. In order to prevent chemical contamination during a flood event, all chemical containers full or otherwise shall be removed from the property within 24 hours of notification of a flood event.

Advisory Notes

- The applicant shall make themselves aware of the Discrimination Against People with Disabilities Act (DDA) and assess their responsibilities and liabilities with regards to the provision of access for all people.
- Should any aboriginal site or relic be disturbed or uncovered during the construction of this development, all work should cease and the National Parks and Wildlife Service consulted. Any person who knowingly disturbs an aboriginal site or relic is liable to prosecution under the National Parks and Wildlife Act 1974.
- The applicant is advised to consult with:
 - o Sydney Water Corporation Limited
 - o Integral Energy
 - o Natural Gas Company
 - o a local telecommunications carrier
- regarding their requirements for the provision of services to the development and the location of existing services that may be affected by proposed works, either on site or on the adjacent public roads.
- The developer is responsible for all costs associated with any alteration, relocation or enlargement to public utilities whether caused directly or indirectly by this proposed subdivision. Such utilities include water, sewerage, drainage, power, communication, footways, kerb and gutter.
- The applicant shall make themselves aware of any User Restriction, Easements and Covenants to this property and shall comply with the requirements of any Section 88B Instrument relevant to the property in order to prevent the possibility of legal proceedings against them.

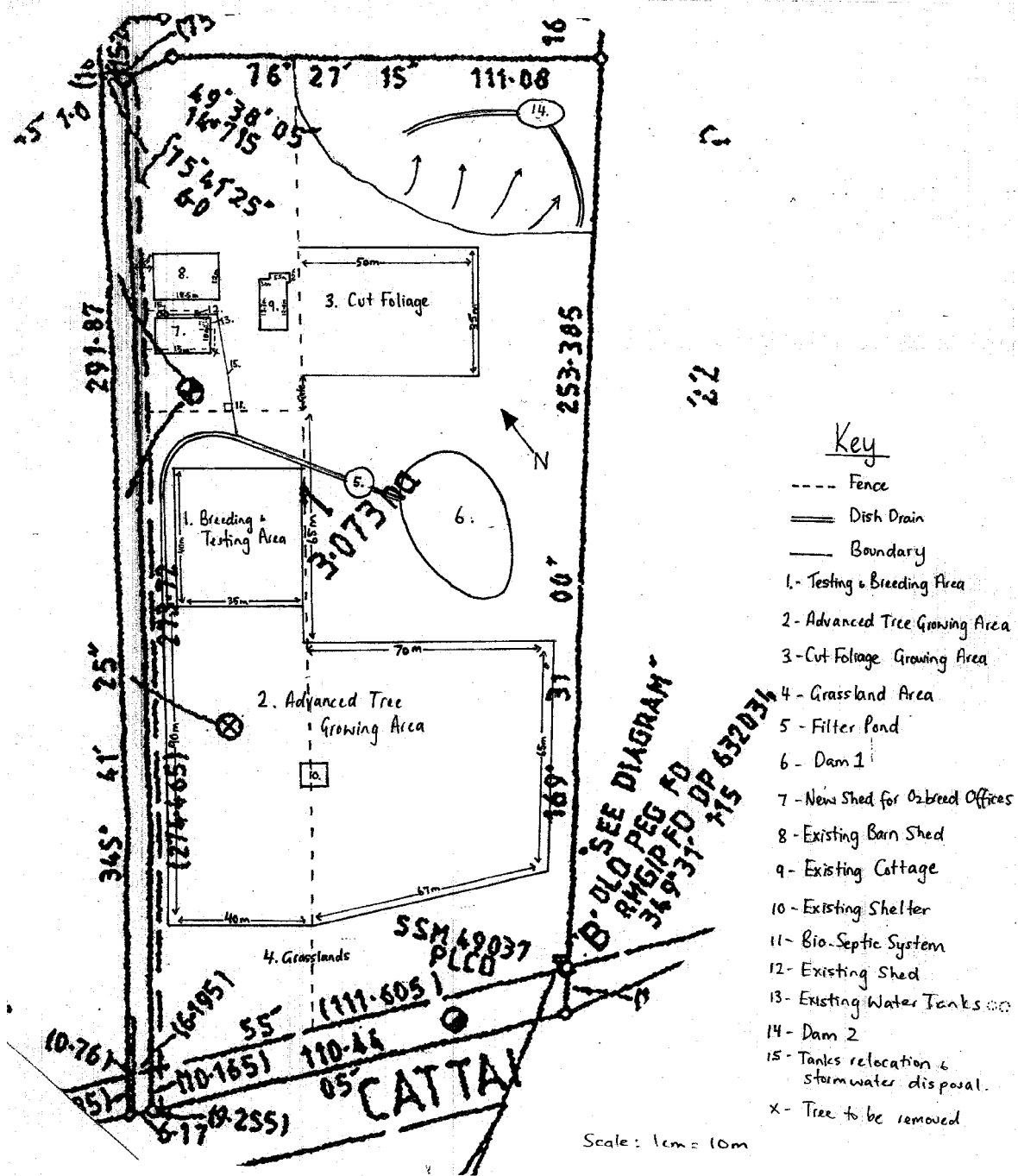
ATTACHMENTS:

- AT-1 Site Plan
- AT-2 Floor Plan - Ground
- AT-3 Floor Plan - Mezzanine Level
- AT-4 Elevation Plans
- AT-5 Proposed Dam

ORDINARY MEETING

Meeting Date: 12 December 2006

AT-1 Site Plan

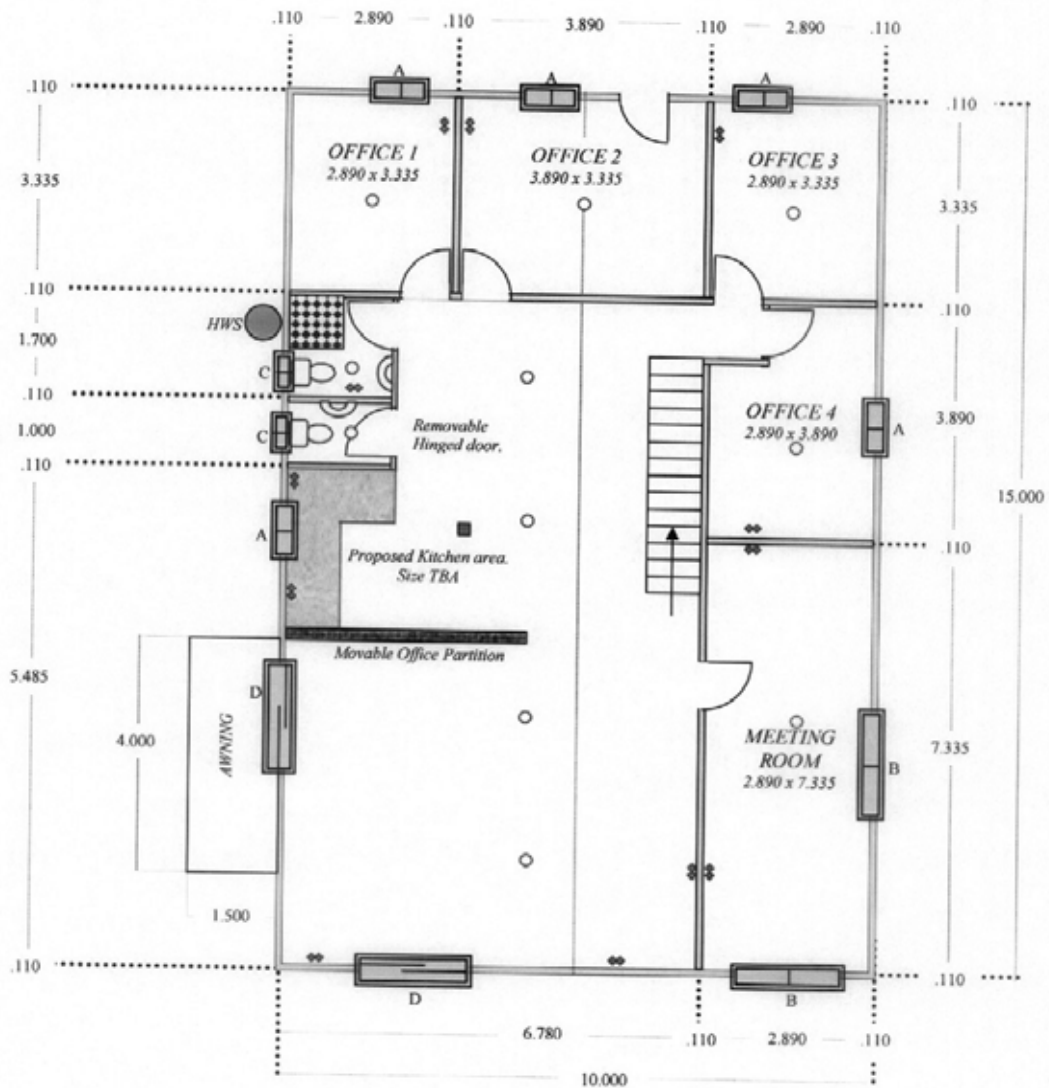


ORDINARY MEETING

Meeting Date: 12 December 2006

AT-2 Floor Plan - Ground

GROUND FLOOR PLAN



NAME : TODD LAYT
Site Address : 261 CATTAIL RD
PITT TOWN NSW

KIT SIZE : 10.000 x 15.000 x 2.400

REFERENCE NUMBER: 2578K Mk: 2

SIGNED:.....

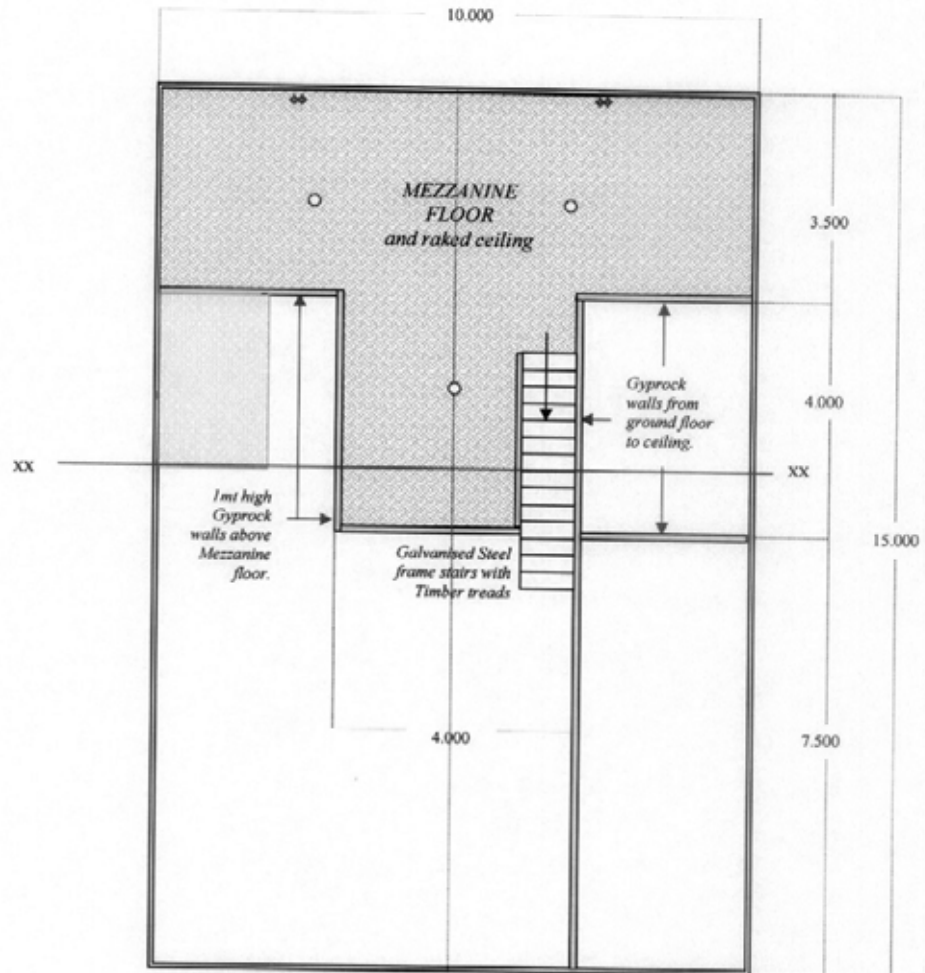
COUNCIL
COPY

ORDINARY MEETING

Meeting Date: 12 December 2006

AT-3 Floor Plan - Mezzanine Level

MEZZANINE FLOOR PLAN



NAME : TODD LAYT
Site Address : 261 CATTAL RD
PITT TOWN NSW

KIT SIZE : 10.000 x 15.000 x 2.400

REFERENCE NUMBER: 2578K Mk: 2

SIGNED:.....

COUNCIL
COPY

ORDINARY MEETING

Meeting Date: 12 December 2006

AT-4 Elevation Plans



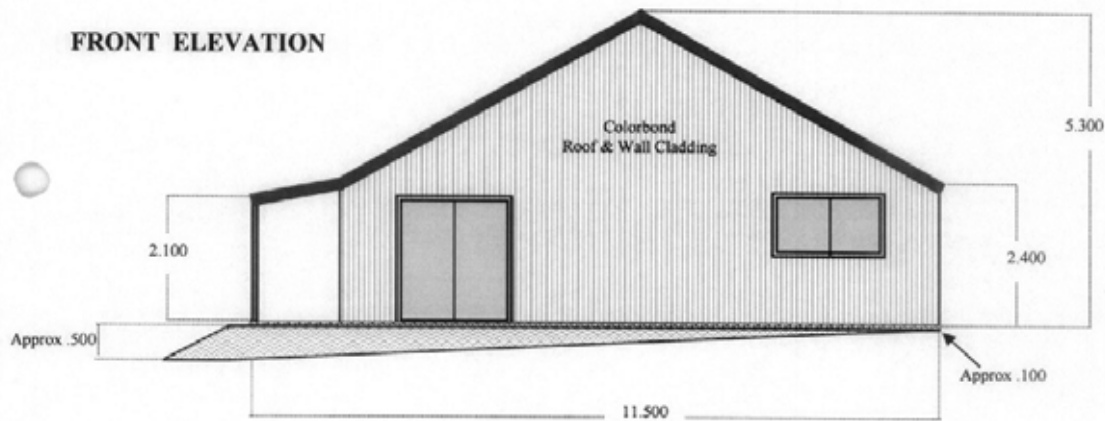
GOSPER'S GARAGES & ROOFING

144 Blacktown Road, FREEMANS REACH NSW 2756
Phone : (02) 4579-6833, Fax : (02) 4579-6277, E-mail: gospers@gospers.com.au

OFFICE ELEVATIONS

15.06.06

FRONT ELEVATION



REAR ELEVATION



NAME : TODD LAYT
Site Address : 261 CATTAL RD
PITT TOWN NSW

KIT SIZE : 10.000 x 15.000 x 2.400

REFERENCE NUMBER: 2578K Mk: 2

**COUNCIL
COPY**

SIGNED:.....

Page 1 of 5

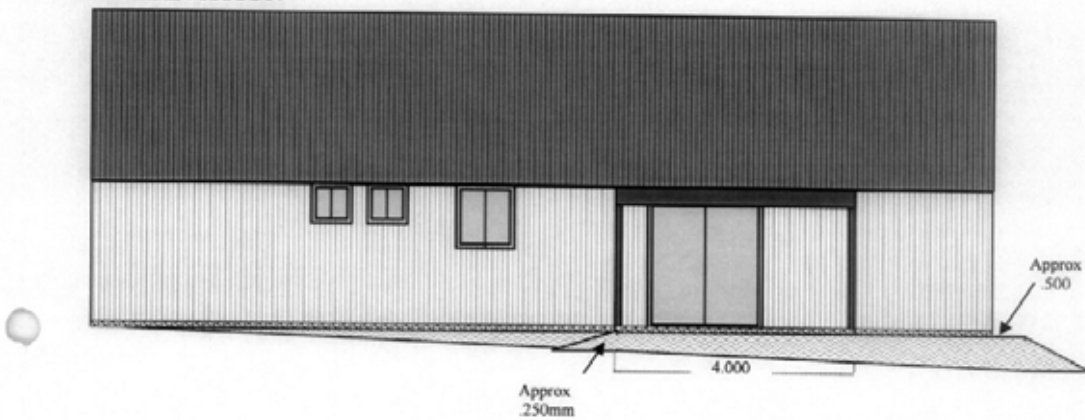
ORDINARY MEETING

Meeting Date: 12 December 2006

SIDE ELEVATION



SIDE ELEVATION



NAME : TODD LAYT
Site Address : 261 CATTAL RD
PITT TOWN NSW

KIT SIZE : 10.000 x 15.000 x 2.400

REFERENCE NUMBER: 2578K Mk: 2

SIGNED:.....

COUNCIL
COPY

Page 2 of 5

Meeting Date: 12 December 2006

[illegible]

ORDINARY MEETING

Meeting Date: 12 December 2006

EXTERNAL SERVICES

Item: 298 **ES - Draft Customer Service and Communication Strategy - (79342, 95494)**

Previous Item: 231, Ordinary (26 September 2006)

REPORT:

This report has been prepared to seek Council's approval to place the draft Customer Services and Communication Strategy, prepared in accordance with objectives contained in Council's Strategic Plan, on public exhibition for a period of 60 days.

Background

In February 2005, Council adopted a Strategic Plan. The Plan requires Council to develop and adopt a Customer Service Strategy by October 2005, and a Communication Strategy by July 2005.

In accordance with the Strategic Plan, a draft Customer Service and Communication Strategy was developed in October 2005. The reporting of the strategy was deferred pending the outcomes of Council's special rate variation (given the resources required to implement the strategy).

The draft Customer Service and Communication Strategy was subsequently reported to Council in September 2006. In view of Council's financial position, it was necessary to revise the scope of the Strategy to ensure that it could be implemented within existing resources. In considering this matter Council resolved:

"That Council workshop the Customer Service and Communication Strategy for Hawkesbury City Council."

The Strategy was considered by Council at a Councillors workshop held on 5 December 2006.

Current Situation

Management have identified the provisional membership for a proposed Customer Service Project Team to be established to begin the implementation of the Customer Service and Communication Strategy. The membership of the proposed Project Team has been drawn from Council work units which are responsible for the provision of key products and services to Council's external customers.

The planned role of the Project Team will be to undertake a customer service self-assessment utilising the *International Customer Service Standard Implementation Guidelines* (ICSS) developed by the Customer Service Institute of Australia (CSIA). When completed, the self-assessment will allow the Project Team to identify the customer service and communication targets that will need to be worked through (over the next three years) to enable Council to achieve external accreditation under the ICSS. Members of the Project Team will be provided with training (developed by the CSIA) to consolidate the skills and knowledge required to complete the ICSS self-assessment and audit.

Conformance to Strategic Plan

The proposal is deemed to conform with the objectives set out in Council's Strategic Plan i.e:

"Development of a Customer Service Strategy", and

"Development of Communications Strategy in line with planned objective."

ORDINARY MEETING

Meeting Date: 12 December 2006

Funding

The implementation of the Customer Service and Communication Strategy will be achieved within existing resources, and where required, through the internal reallocation of existing resources.

RECOMMENDATION:

That the draft Customer Service and Communication Strategy for Hawkesbury City Council, prepared in accordance with objectives contained in Council's Strategic Plan, be placed on public exhibition for a period of 60 days.

ATTACHMENTS:

AT-1 Draft Customer Service and Communication Strategy

AT-1 Draft Customer Service and Communication Strategy

VISION: Hawkesbury City Council will be recognised for its strong community connections and customer service excellence.					
MISSION: To inform and engage the community in the planning and delivery of services that meet and exceed our customer's expectations.					
Leadership	Connecting with the Community	Customer Focused Services	Innovation + Improvement	Responsiveness	Benchmarking
OBJECTIVES	We will engage the community and inform residents about our activities and objectives and we will request and use resident feedback to improve our services.	All our staff are dedicated to customer service excellence - we will understand the needs and expectations of our customers and deliver services that meet and then exceed our customer's expectations.	We will maintain a climate of continuous customer service improvement to encourage innovation and creativity in the marketing and delivery of services.	We will respond promptly to customer requests and strive to solve customer problems.	We will set customer service and communication standards and benchmarks and monitor and measure our performance against these standards and benchmarks
	Establish mechanisms and organisational structures to inspire and drive a 'customer first' service oriented corporate culture and a corporate reputation for leadership and good communication.	Develop and implement a consultation framework to enable Council to engage with the community and provide opportunities for different views to be represented and articulated.	Implement customer research strategies to define expectations of customer groups, and identify critical issues impacting on customer service performance & refocus attention on customer priorities.	Establish customer-friendly environments, and customer friendly information + empower front-line staff to take responsibility for responding to and resolving customer problems.	Identify customer service standards and communication benchmarks for the marketing and provision of services
	Adopt a world-class customer service charter to direct and communicate Council's customer service approach (based on the International Customer Service Standard).	Invest in workplace support strategies and workplace environments to provide staff with the resources and skills to achieve service excellence behaviour.	Continuously monitor customer service requests + complaints, and industry + demographic changes to identify future customer requirements and opportunities for service improvement.	Implement a coordinated customer request and complaint handling, tracking + mapping system to develop a corporate understanding of our customers needs.	Integrate customer service standards and communication benchmarks into position descriptions, performance reviews and business plans
	Promote the distinctive landscapes and communities of the City, and market the lifestyle + business opportunities that the City has to offer.	Invest in communication strategies to provide Councilors and staff with information and resources to drive corporate performance and manage customer expectations.	Establish an integrated Quality Improvement Process to optimise staff participation in maintaining and improving customer service standards.	Build relationships and alliances with customers, the community and business to predict and evaluate the impact of our business and corporate decisions and plans.	Implement a customer service standard and customer satisfaction monitoring and measurement program.
STRATEGIES					

ORDINARY MEETING

Meeting Date: 12 December 2006

	Leadership	Connecting with the Community	Customer Focused Services	Innovation + Improvement	Responsiveness	Benchmarking
YEAR 1 TARGETS	- Establish corporate capability for Communication and Customer Services co-ordination - Conduct self-assessment based on International Customer Service Standard (ICSS). - Update corporate identity standard (brand identity & reputation management) to ensure consistency in use of Council logo + communications. - Prepare electronic and hard copy information about the Hawkesbury. - Define factors that influence Council's overall brand and reputation and develop a prioritised set of key messages to residents.	- Adopt Consultation Policy incorporating a community consultation matrix to establish a cost effective framework for Council engagement. - Produce information/FAQ sheets to enable residents to access electronic and hard copy information on Council services and policies. - Investigate cost-effective options for regular distribution of information to residents about Council services, performance, decisions and expenditures. - Audit review of effectiveness of existing communication tools and activities.	- Conduct staff sessions to outline 'Customer First' Customer Service Strategy. - Identify knowledge, skills and competencies required by staff to support customer focused service models across organisation. - Identify key audiences, Customer Groups, products and services. - Survey Customer + Staff Perceptions of Customer Service Performance	Integrate consideration of customer service requirements into decisions regarding investment in technological innovation and knowledge management systems.	- Review existing customer service infrastructure to identify options for improved customer service access points. - Review options for developing co-ordinated customer request + complaint handling and tracking system.	- Evaluate and define existing customer service and communication benchmarks. - Develop corporate customer service and communication standards and benchmarks to drive organisational improvement.
YEAR 2 TARGETS	- Develop Customer Service Excellence Plan based on International Best Practice (including Customer Charter, and Customer Service KPIs) - Customer Service and Communications KPIs integrated into Management Plan & reporting cycles. - Develop 'Events and Functions Policy (and Procedures)' to co-ordinate branding and marketing of events across Council. - Introduce media briefings and briefing kits on key issues and product launches.	- Upgrade Council web-site to create capability for community feedback & dialogue, and development of on-line email groups. - Investigate options for establishing a mechanism for interactive dialogue (e.g. Resident Feedback Register) to road-test issues of public concern. - Develop Style Guide for preparation of Council correspondence.	- Establish methodology to identify different Customer Groups needs and redesign of products + services to meet customer requirements. - Develop Customer Service Improvement Plans for each work unit. - Develop Customer Service Code of Conduct to identify service excellence behaviours and integrate into recruitment and staff induction programs. - Implement Customer Service and Communications Training Program	- Establish integrated QI framework to facilitate staff participation in maintaining and improving customer service standards - Develop proposal for post-transaction service to provide follow up assistance + information to customers.	- Review and improve on-line customer request, information and transaction facilities. - Implement re-designed customer request, complaint handling + resolution and tracking system. - Implement recommendations of feasibility reviews. - Identify customer service delegations for inclusion in position descriptions.	- Implement strategy to measure performance in achieving customer service standards + benchmarks. - Design and Implement Annual Customer Satisfaction Survey - Develop format for annual Customer Service Report to document impact of customer service improvements.

ORDINARY MEETING

Meeting Date: 12 December 2006

YEAR 3 TARGETS					
- Re-conduct and lodge ICSS self-assessment. - Achieve certification to ICSS by Customer Service Institute of Australia - Incorporate ICSS logo into publications and promotional materials. - Develop digital image library to support marketing.	- Provide media and public presentation training opportunities for Councillors, management and staff. - Create on-line Council publications database.	- Maintain ongoing customer research program and implement procedure for monitoring customer service requests to identify future customer requirements - Review and redesign staff rewards program to recognise and celebrate customer service and communication excellence.	- Establish process to solicit suggestions/ideas for customer service improvements and feed into service review framework - Implement service monitoring process to identify opportunities for service improvements	Review effectiveness of multiple customer contact channels to identify strategies for increasing efficiencies and responsiveness.	Incorporate Customer Service performance measures in all position descriptions.

0000 END OF REPORT 0000

ORDINARY MEETING

Meeting Date: 12 December 2006



ordinary
meeting

end of
business
paper

This business paper has
been produced
electronically to reduce
costs, improve efficiency
and reduce the use of
paper. Internal control
systems ensure it is an
accurate reproduction of
Council's official copy of
the business paper.